



SURFACE DRAINAGE PLAN

When applying for a development permit for land zoned for any usage other than single detached housing or semi-detached housing, a developer must concurrently submit a Surface Drainage Plan (Lot Grading Plan). Approval must be received before construction can begin.

Surface Drainage Plan (Lot Grading Plan) Requirements

A Lot Grading Plan includes the following information:

- A (24"x36") scale drawing of the property in metric units certified by an Alberta Land Surveyor (ALS), Engineer or Architect
- Existing surface elevations, contours and surface grades of the property and adjacent properties based on geodetic datum
- Proposed surface elevations measured from geodetic datum at the property corners and at intervals along the periphery of the property.
- Proposed surface grades (conditions), indicated by arrows to show the direction of flow for surface runoff
- Proposed minimum surface elevations measured from geodetic datum adjacent to the foundation walls and/or top of concrete slab-on-grade for each proposed building
- Provisions for accommodating overland flows from adjacent lands
- All private storm drainage systems
- Geotechnical reports and requirements for restrictive covenants
- Facilities and means demonstrating compliance with the stormwater management controls and storage requirements
- Legal description, subdivision or neighbourhood, property address (if applicable) or road names
- Project name, applicant information, development boundary, revision box, legend, notes (if applicable), north arrow
- Downspouts, sump pump discharges
- Space near the bottom right hand corner of the plan for the City of Spruce Grove Approval Stamp
- Lot Grading Details, included in these guidelines, indicate acceptable drainage patterns for commercial and multi-family developments

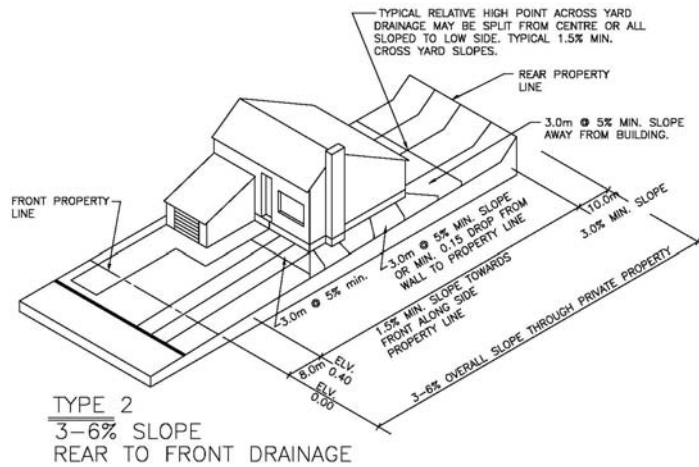
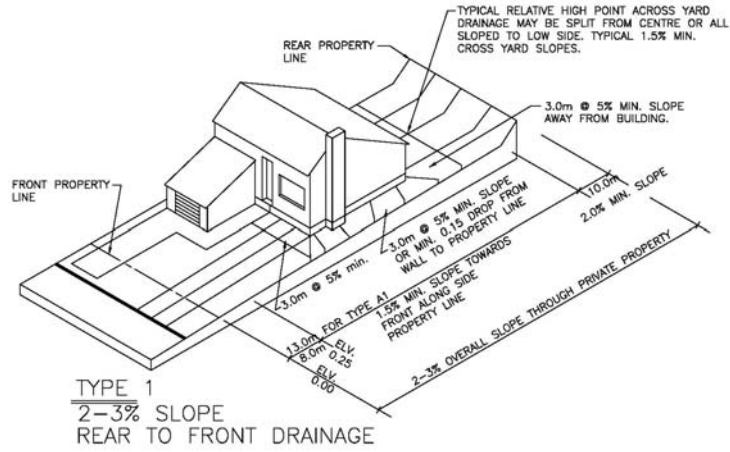
Approval Procedure

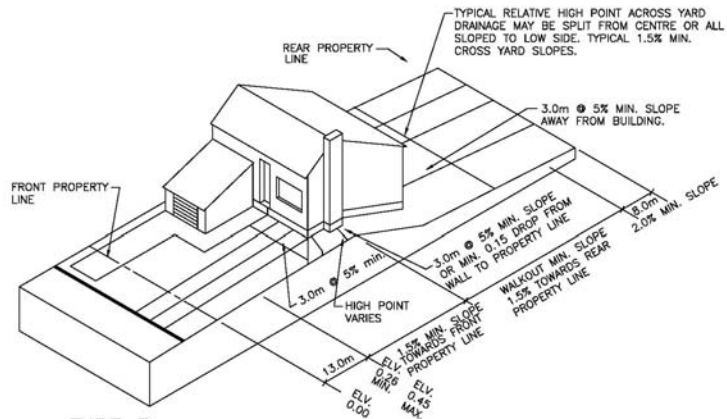
After reviewing the proposed Lot Grading Plan, we'll notify the applicant if the plan is approved or needs revisions. If revisions are to be made, a letter will be sent to the applicant. It's the applicant's responsibility to revise and re-submit the Lot Grading Plan for further review.

Once the proposed Lot Grading Plan is approved, it is stamped and signed by Engineering Services and returned to the applicant. The applicant must provide a mylar, sepia drawing or two blueprints of the approved plan to Engineering Services. This approved plan will then become the Lot Grading Plan for the site.

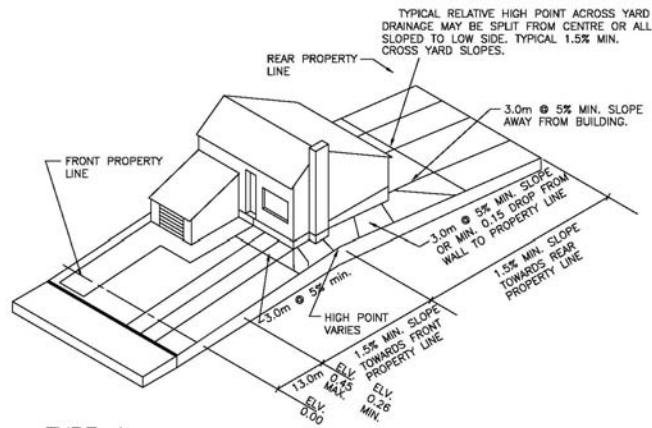
If changes to the approved Lot Grading Plan are required, a revised drawing (red-line revision) must be sent to Engineering Services along with the written consent of the affected property owners for

review and approval. Once approved, this revised Lot Grading Plan will replace the previously approved Lot Grading Plan.





TYPE 3
WALKOUT BASEMENT
SPLIT DRAINAGE



TYPE 4
STANDARD SPLIT DRAINAGE

